

**Item No 02:-**

**17/02402/LBC**

**Bee Furlong Barn  
Southrop  
Gloucestershire  
GL7 3PN**

**Item No 02:-****Conversion of a redundant agricultural building to provide a single residential unit and associated works including internal and external alterations (revised scheme) at Bee Furlong Barn Southrop Gloucestershire GL7 3PN**

| <b>Listed Building Consent<br/>17/02402/LBC</b> |                           |
|---|---------------------------|
| <b>Applicant:</b>                               | Mr and Mrs Rippin         |
| <b>Agent:</b>                                   | Hunter Page Planning Ltd  |
| <b>Case Officer:</b>                            | Christopher Fleming       |
| <b>Ward Member(s):</b>                          | Councillor Ray Theodoulou |
| <b>Committee Date:</b>                          | 11th October 2017         |
| <b>RECOMMENDATION:</b>                          | <b>REFUSE</b>             |

**Main Issues:**

(a) Impact upon Heritage Asset

**Reasons for Referral:**

The application has been referred to committee by Cllr Theodoulou to assess the impact of the proposals on the listed building.

**1. Site Description:**

Bee Furlong Barn is listed, traditional field barn in open rural setting. It dates from the 19th Century and is constructed in shallow coursed local rubble stone. The main barn is modest and there are two byres, both with columns. The barn would have been originally roofed in local stone slates or Welsh slate but the northern roof slopes have been re-covered in fibrous cement sheeting and southern roofslopes in an imitation stone slate. Internally the C19 roof structure survives, including interesting scissor trusses. There is a cat slide lean-to to south, gabled single storey addition to west, and porch projection to north.

The site is located outside of the Cotswold Area of Outstanding Natural Beauty (AONB), accessed from the Salt Way and opposite the site is an access to a farm complex.

**2. Relevant Planning History:**

CD.7105. and LBC 868. Barn Conversion. Permitted 11.05.89

CD.7150/A. Temporary re roof. Permitted 17.12.96

CD.7150/B and CD.7150/C (14/01579/FUL and 14/01580/LBC) Planning Permission and Listed Building Consent for the conversion of a redundant agricultural building to provide a single residential unit and associated works including internal and external alterations permitted 20.02.15

CD.7150/D (15/04523/FUL) Application refused for change of use of land from agriculture to a mixed use of agriculture and domestic curtilage to be used in association with Bee Furlong Barn refused on 08.12.2015.

CD.7150/E (16/01024/FUL) Planning Permission for change of use of land from agricultural to domestic curtilage permitted 26.05.2016.

**3. Planning Policies:**

NPPF National Planning Policy Framework

**4. Observations of Consultees:**

Conservation Officer - comments included within the report

**5. View of Town/Parish Council:**

No objection to the proposal

**6. Other Representations:**

3 letters of support summarised below:

Unfortunate to witness deterioration of existing building and the conversion would bring the building back into use.

Existing consented scheme would not make a practical full time home.

The new extension to the west would not be visible and would result in a discreet and practical solution to achieving additional accommodation

**7. Applicant's Supporting Information:**

Heritage Statement

**8. Officer's Assessment:**

This application is a revised scheme for conversion of a grade II listed agricultural barn to a residential dwelling. Planning and listed building consent has already been granted to convert the barn and shelter sheds to residential use. The current permissions were the result of extensive consultation and would preserve the agricultural character of the building. The current proposals are to revise the existing consented scheme for conversion of the building from agricultural to residential use. The revisions include widening of the East shelter shed by virtue of a glazed linear extension and a new window and doorway in the north elevation. The proposals to the West shelter shed and the main barn remain similar. A flat roofed extension is proposed of the North-West elevation of West shelter shed.

Bee Furlong Barn is a grade II listed as being of special architectural or historic interest. As such this authority is statutorily required to have special regard to the desirability of preserving the building, its setting or any features of special interest it may possess. Where harm is proposed this must be weighed against any public benefits a scheme might offer (In this case the proposals would not generate any public benefit). These duties are in accordance with Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 and Section 12 of the National Planning Policy Guidance.

Section 12 of the National Planning Policy Framework asks that Local Planning Authorities should take account of the desirability of sustaining or enhancing the significance of heritage assets. Paragraph 132 states that when considering the impact of the proposed works on the significance of a designated heritage asset, great weight should be given to the asset's conservation. Paragraph 133 states that where a proposed development will lead to substantial harm applications should be refused unless it is demonstrated that that harm is necessary to achieve substantial public benefits. Paragraph 134 states that where a development proposal will cause harm to the significance of a designated heritage asset that is less than substantial harm, that harm is weighed against the public benefits of those works.

### Impact on the listed building

The current proposal in relation to the barn and the West shelter would not harm historic fabric any more than the previous consent and there no overriding objection to the alterations proposed. However the conservation officer has raised concerns of the alterations and extensions to the east shelter shed, proposed extension to the west and proposed roof coverings.

The East shelter shed has recently been restored. The walls and three stone columns appear original except for the East gable which has been rebuilt using an inappropriate mix of stone. The principal roof timbers and trusses are generally original with replacement rafters and some wall plates.

The state of preservation, form and proportions of this east shelter shed of the listed building complex is clearly indicative of the original form and function of the collective buildings and its form contributes to the significance of the listed building. The stone columns along the East shelter shed as currently experienced is fundamental to the character and significance of the building. This elevation is also widely visible from the road. Therefore the proposal to add a flat roofed glazed extension down the southern side would conceal the original form and detail of the shelter shed and will have a negative visual impact upon the significance of the listed building. Whilst, it is appreciated that the final width of the shelter shed following the currently consented conversion would be somewhat limited, it would still provide adequate space for habitable accommodation. The proposed flat roof glazed extension by virtue of its design and form would result in an incongruous and uncharacteristic addition to the barn and would fail to comply with Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 and Section 12 of the NPPF.

The proposal also includes the addition of a flat roofed single storey extension with a glazed wall to the North-East and to be set into the banked soil on the other elevations. This extension projects beyond the historic curtilage of the barn complex into an agricultural field in a manner that is alien and incongruous to the appearance and historic floor plan of the listed building. The complex effectively turns inward toward the yard on the North-West and North East sides creating a defined boundary to the open countryside. Despite being contained within a grassed bank the unusual formation would be visible distraction to the appearance and character of the listed barn and shelter sheds. As such the proposal is unacceptable in principle due to its location in relation to the listed building and in terms of form and design.

The intention was to replace natural Cotswold stone slates on the rear slopes of the barn and East shelter shed with artificial Cotswold stone slates. Despite some unauthorised replacement of stolen eaves slates with artificial stone slates the listed building has a natural stone slated roof in this location. The materials are part of the significance of this listed building and it would be unacceptable to replace this with an artificial stone roof. Further to this the applicant has now confirmed that the roofing material would be natural Cotswold stone slates. If Members are minded to permit this application officers consider it necessary to ensure the roof slopes are retained in original materials and therefore a condition would be recommended to ensure the roof slopes are covered in natural Cotswold stone slates.

### **9. Conclusion:**

The physical extensions and extensions to the curtilage of the simple vernacular group of farm buildings are incongruous and unsympathetic to the agricultural character of the buildings due to their location form and design. Furthermore the substitution of natural Cotswold stone slates for artificial stone slates would impact negatively upon the aesthetic interest and integrity of the building and would generate less than substantial harm to the significance of the listed building.

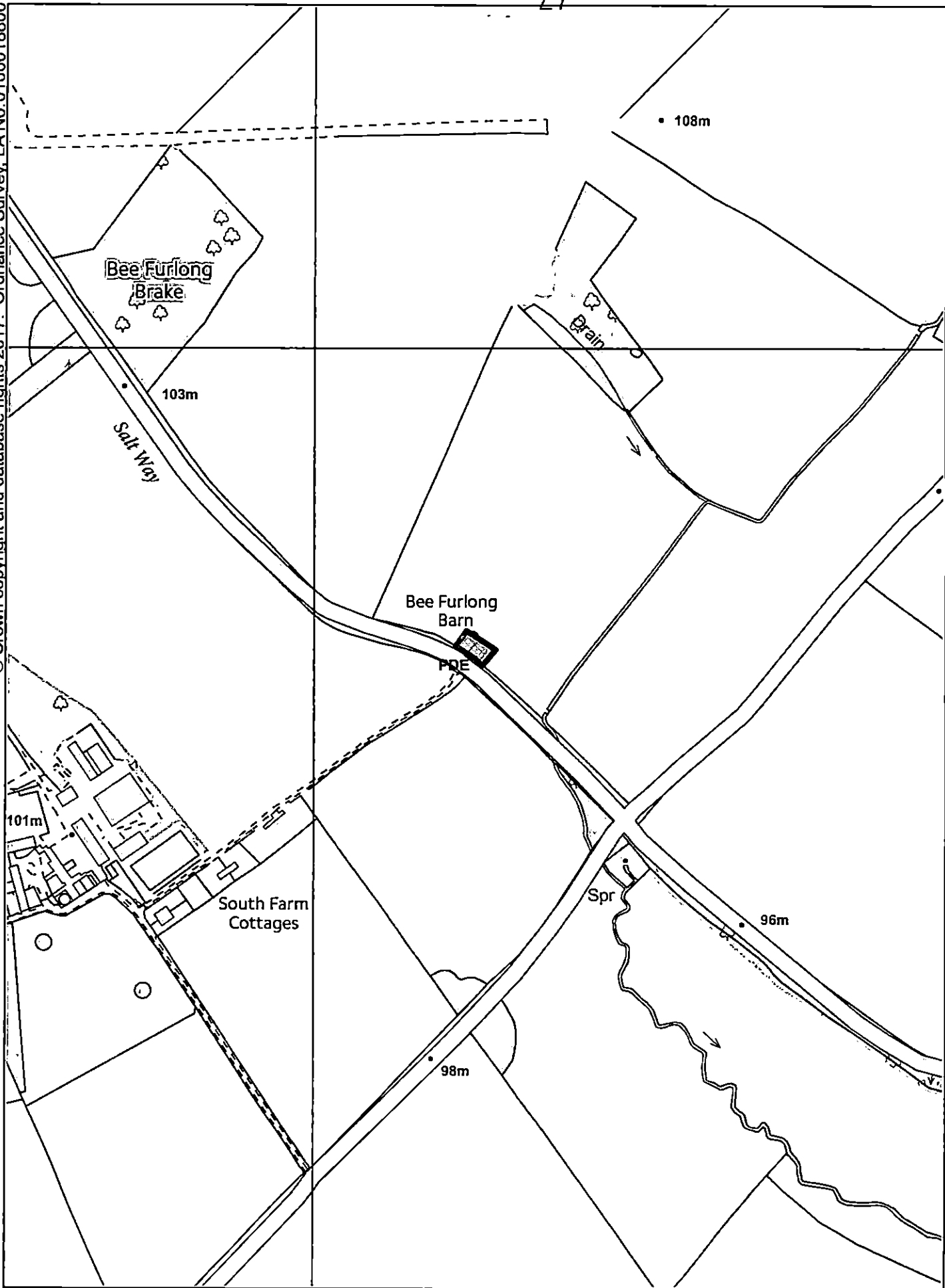
Overall it is considered that there are no benefits arising out of the proposal that would justify this harm, which outweighs the presumption in favour of development set out in the NPPF. The

proposed works have been assessed by the Council's Heritage and Design Officers and overall they consider the works to be unacceptable. It is considered that the proposed development would fail to preserve the special setting, historic and architectural interest of the Listed Buildings and would therefore not accord with guidance in Section 12 of the NPPF and Sections 16(2) of the Planning (Listed Building and Conservation Areas) Act 1990.

**10. Reasons for Refusal:**

The physical extensions and extensions to the curtilage of the simple vernacular group of farm buildings are incongruous and unsympathetic to the agricultural character of the buildings due to location form and design. The significance of the designated heritage assets would be diminished, and without public benefits in this case, to outweigh that harm. The proposals are therefore contrary to Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990, Section 12 of the NPPF.

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**COTSWOLD**  
DISTRICT COUNCIL

**BEE FURLONG BARN SOUTHTROP**

Organisation: Cotswold District Council

Department:

Date: 29/09/2017

Scale: 1:5000





**General Notes:**

1. To be read in conjunction with other consultants drawings.
2. Check site conditions prior to commencement of work.
3. Any discrepancies to be reported directly to the Architect.

**IF IN DOUBT ASK.**

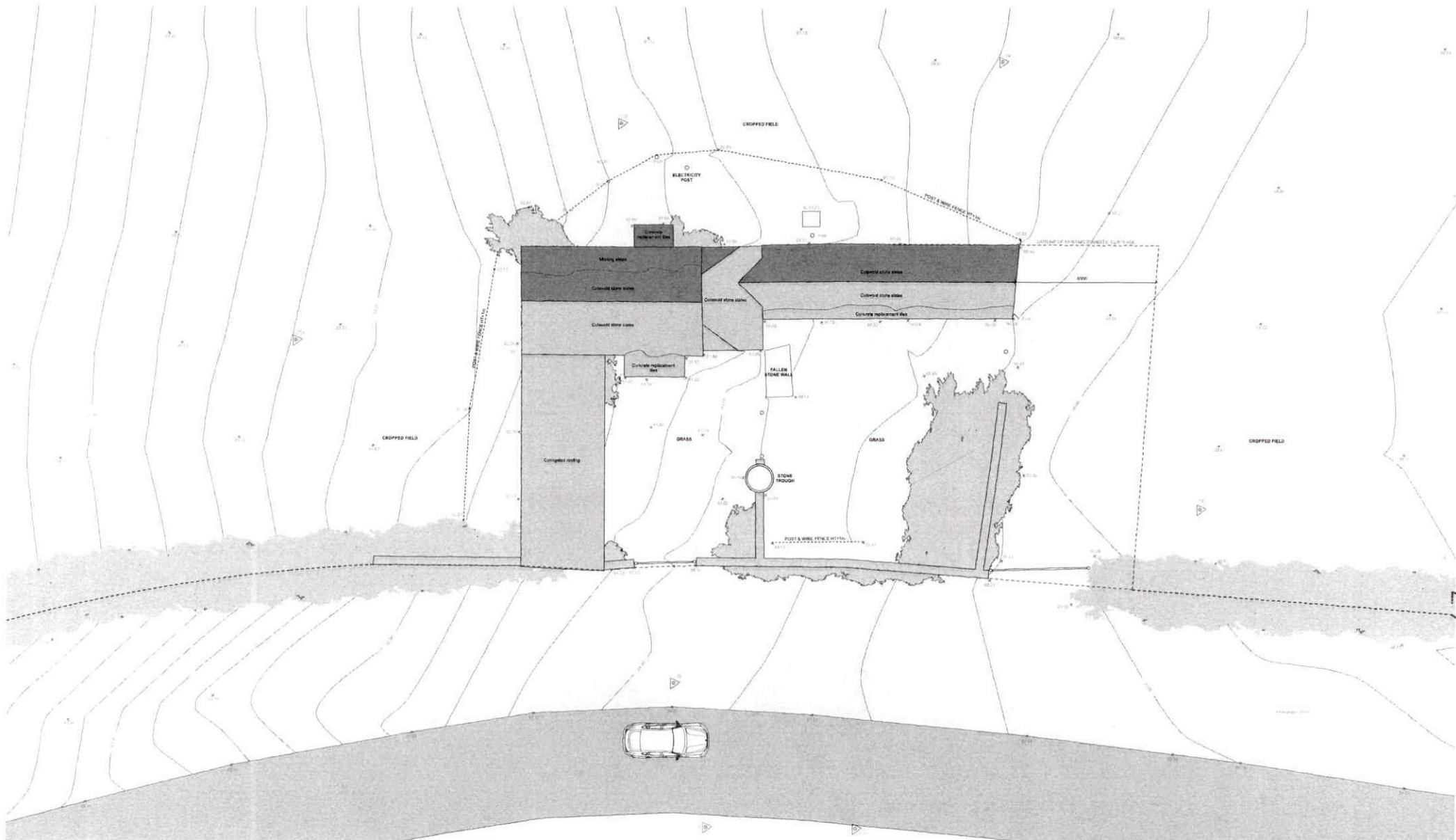
4. Do not scale off drawing (Except for Planning purposes only). Use figured dimensions only.
5. **WARNING:** This drawing is issued in colour.

**KEY**

- Application Site
- Ownership area
- Existing Building



|  |                                     |                          |       |
|--|-------------------------------------|--------------------------|-------|
| Rev  | Date                                | Notes                    | Drawn |
| B  | 30.06.17                            | Application site updated | AB    |
| A  | 02.06.17                            | Planning Issue           | AE    |
| Scale: 0 50m<br>1: 1250 @ A3<br>0 100 150ft  |                                     |                          |       |
| QA Serial Number   |                                     | 37469                    |       |
| <p><b>YIANGOU</b> <small>Open House, 3 Dove Street<br/>Gloucester, Glouce, GL7 2PP</small></p> <p><small>1 01295 088 150<br/>www.yiangou.com</small></p> |                                     |                          |       |
| Client   | Mr & Mrs Rippen                     |                          |       |
| Project Address  | Bee Furlong Barn, Southrop, GL7 3PN |                          |       |
| Project Description  | Barn Conversion                     |                          |       |
| Drawing Title  | OS Site Plan                        |                          |       |
| Drawing No   | 2156-001                            | Rev                      | B     |



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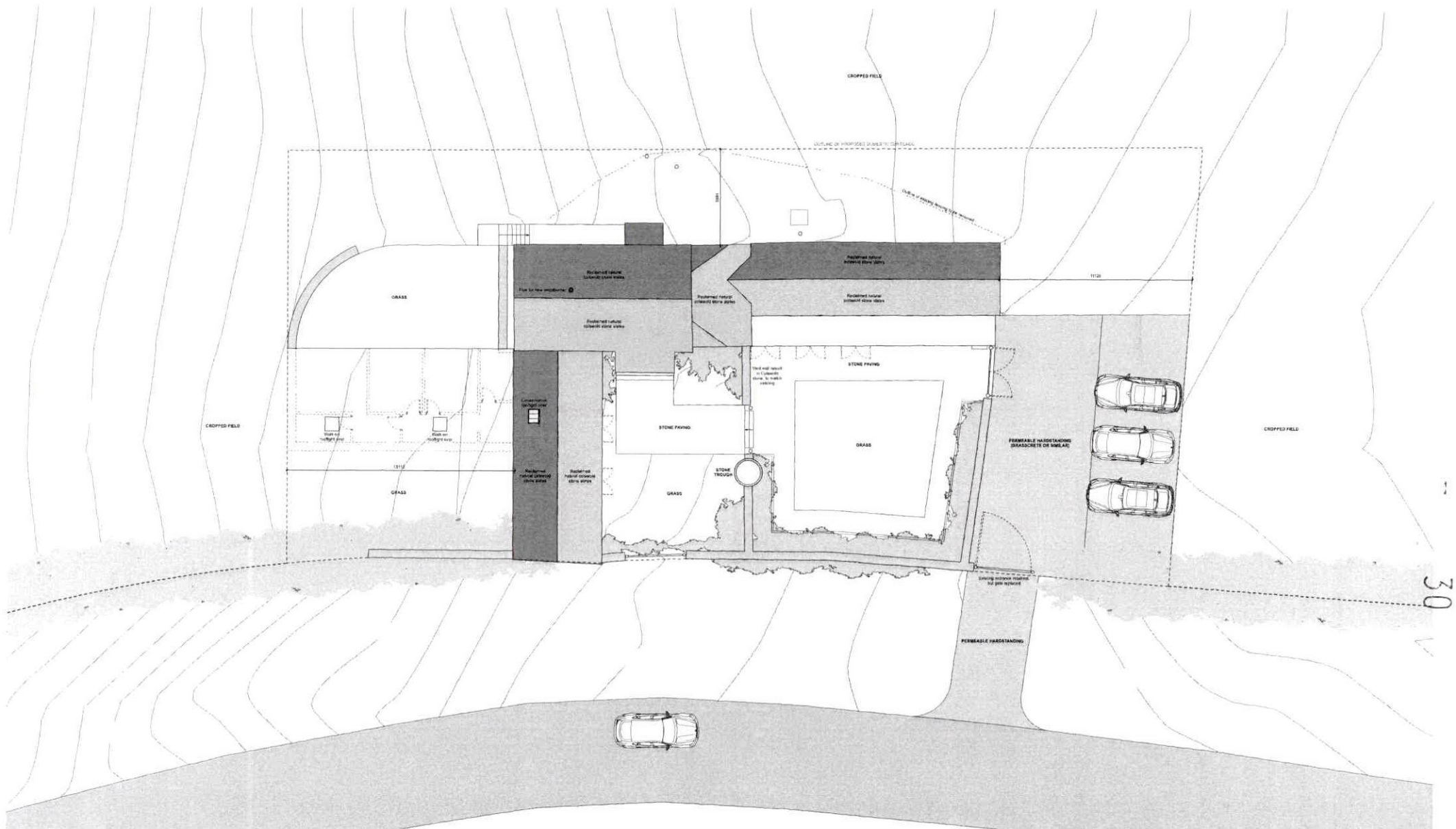
- General Notes:**
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  2. Check site conditions prior to commencement of work.
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  5. This drawing may be issued in colour and may be a non standard paper size.

Existing Site Plan



| Rev  | Date     | Notes                                  | Drawn | Scale      |
|--|----------|--|-------|------------|
| 1  | 27/08/17 | Planning Permit                        |       | 1:100 @ A1 |
| GA Serial Number: 010111   |          |  |       |            |
| <b>YIANGOU</b><br>YIANGOU ARCHITECTS<br><small>YANG GUO &amp; BAO ERN<br/>           CONSULTANTS, SUIT 209<br/>           1/100, 200/100<br/>           &amp; 1/100/100/100/100<br/>           &amp; www.yiangou.com</small> |          |  |       |            |
| Client   |          | SM & MS Papan                          |       |            |
| Project Address  |          | New Farming Barn, Southport, Qld 7 309 |       |            |
| Project Description  |          | Barn Conversion                        |       |            |
| Drawing Title  |          | Existing Site Plan                     |       |            |
| Drawing No.  |          | 2156-002                               |       |            |
| Rev  |          |  | Rev   | A          |





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- General Notes:**
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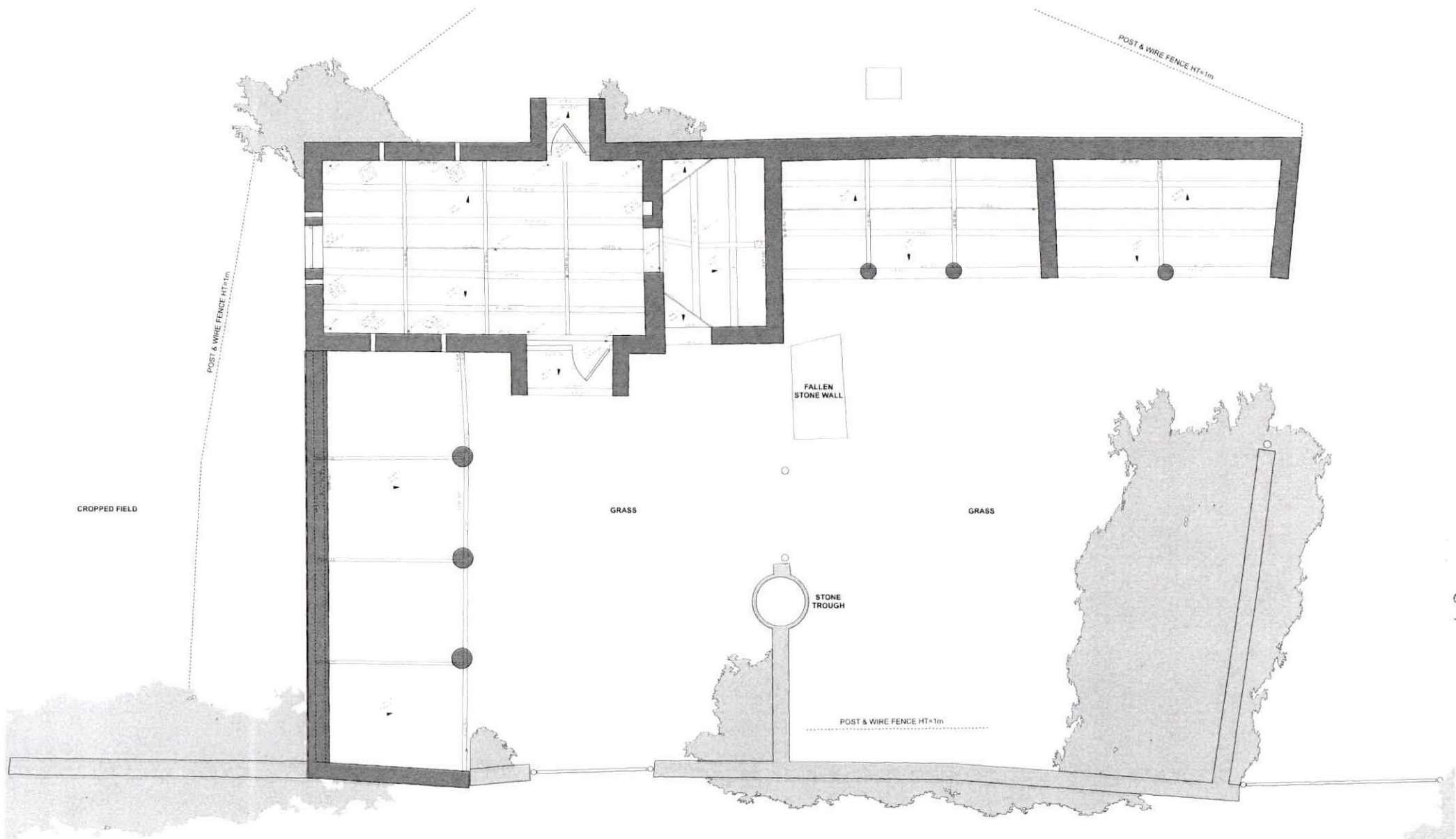
# Proposed Site Plan

| No. | Date     | Notes  | Drawn | Scale            |
|-----|----------|--|-------|------------------|
| A   | 07/06/17 | Planning Issue   | PH    | 1:100 @ A1       |
| B   | 23/06/17 | Address of boundary and slope along North-East of main block, and placing added behind cell and gate | PH    | GA Detail Number |
| C   | 01/07/17 | Final 0.10% slope plan submitted   | AS    |                  |

|  |                                       |  |
|--|---------------------------------------|--|
| <b>YIANGOU</b><br>LANDSCAPE ARCHITECTS |                                       | See Drawn 3 Day Area<br>Cherrywood Street, GL7 3JF<br>London and Tel:<br>+44 (0)1753 600000<br>www.yiangou.com |
| LIN01                                  | Mr & Mrs Piggott                      |  |
| Project Address                        | See Planning Form, Southwick, GL7 3JF |  |
| Project Description                    | Self Construction                     |  |
| Drawing Title                          | Proposed Site Plan                    |  |
| Drawing No                             | 2156-102                              | Rev. C   |





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- General Notes:**
1. This drawing is to be read in conjunction with other consultative drawings.
  2. Check site conditions prior to commencement of work.
  3. Discrepancies must be reported directly to the Architect.
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  5. This drawing may be viewed in colour and may be a non-standard paper size.

Existing Floor Plans



| Rev | Date     | Notes           | Drawn | Scale     |
|-----|----------|-----------------|-------|-----------|
| 1   | 21.08.17 | Plotting Issues | JH    | 1:50 @ A1 |

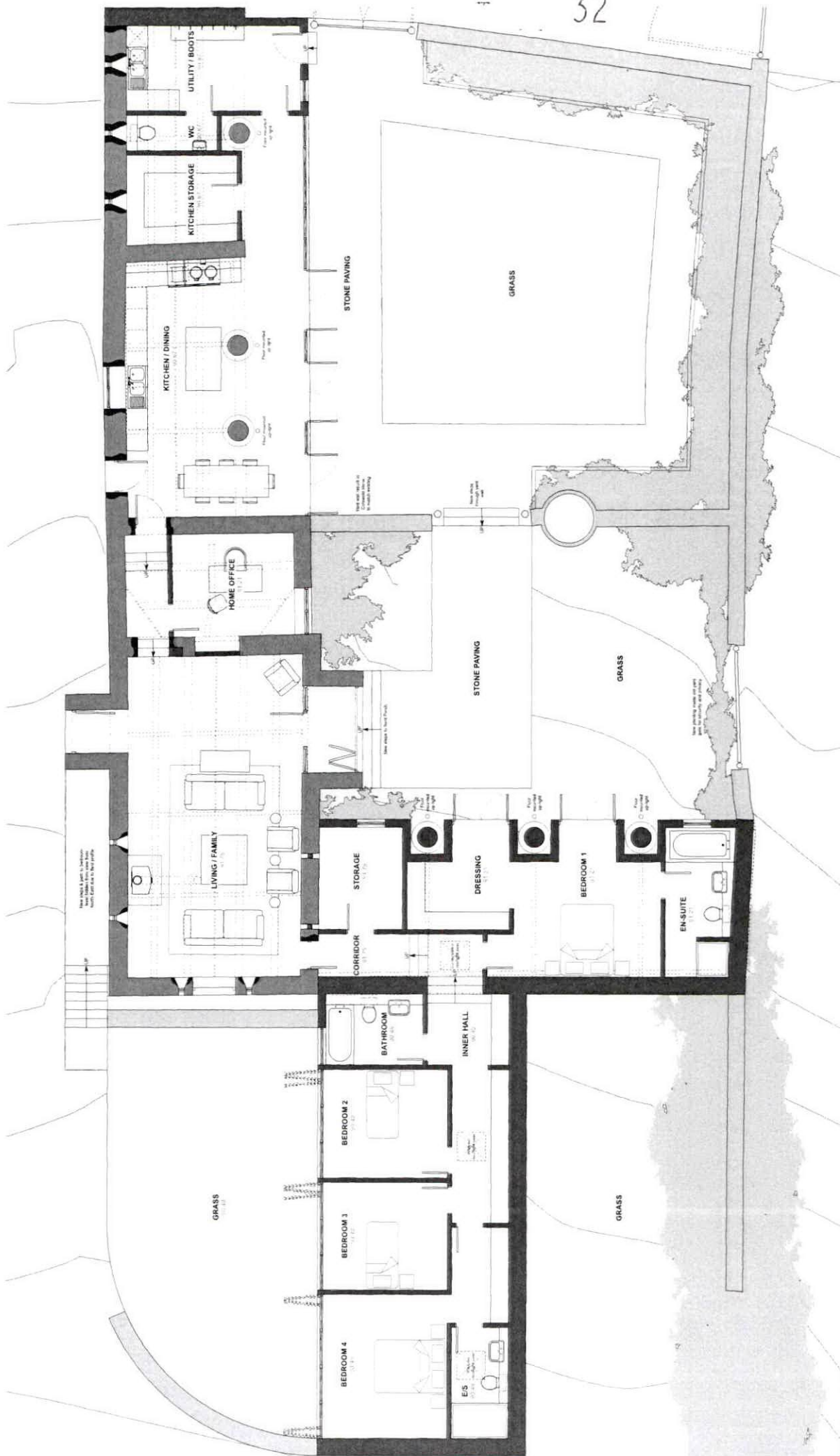
GA Serial Number: 12741 018

**YIANGOU**  
ARCHITECTS

Client: Mr & Mrs Pagan  
 Project Address: New Farming Station, Southport, QLD 7370  
 Project Description: Barn Conversion  
 Drawing Title: Existing Ground Floor Plan  
 Drawing No: 2156-003

Scale: 1:50 @ A1

North Arrow



|           |          |   |
|-----------|----------|---|
| Drawn     | Scale    | Notes                                       |
| 1:50 @ A1 |          |   |
| Rev       | Date     | Remarks                                     |
| A         | 17/08/17 | Proposed Works                              |
| B         | 24/08/17 | Address of Neighbour and Neighbour Notified |
| C         | 15/09/17 | Finalised                                   |

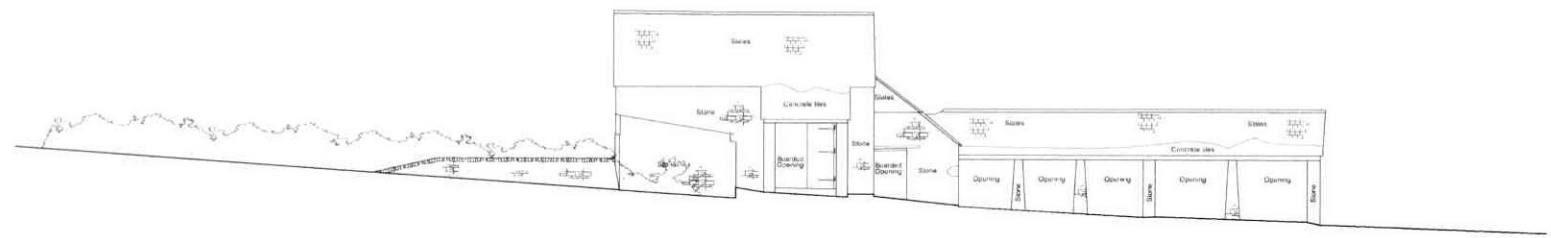
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| Mr & Mrs [Name] | YIANCOU   | 100/101/102/103/104/105/106/107/108/109/110/111/112/113/114/115/116/117/118/119/120/121/122/123/124/125/126/127/128/129/130/131/132/133/134/135/136/137/138/139/140/141/142/143/144/145/146/147/148/149/150/151/152/153/154/155/156/157/158/159/160/161/162/163/164/165/166/167/168/169/170/171/172/173/174/175/176/177/178/179/180/181/182/183/184/185/186/187/188/189/190/191/192/193/194/195/196/197/198/199/200/201/202/203/204/205/206/207/208/209/210/211/212/213/214/215/216/217/218/219/220/221/222/223/224/225/226/227/228/229/230/231/232/233/234/235/236/237/238/239/240/241/242/243/244/245/246/247/248/249/250/251/252/253/254/255/256/257/258/259/260/261/262/263/264/265/266/267/268/269/270/271/272/273/274/275/276/277/278/279/280/281/282/283/284/285/286/287/288/289/290/291/292/293/294/295/296/297/298/299/300/301/302/303/304/305/306/307/308/309/310/311/312/313/314/315/316/317/318/319/320/321/322/323/324/325/326/327/328/329/330/331/332/333/334/335/336/337/338/339/340/341/342/343/344/345/346/347/348/349/350/351/352/353/354/355/356/357/358/359/360/361/362/363/364/365/366/367/368/369/370/371/372/373/374/375/376/377/378/379/380/381/382/383/384/385/386/387/388/389/390/391/392/393/394/395/396/397/398/399/400/401/402/403/404/405/406/407/408/409/410/411/412/413/414/415/416/417/418/419/420/421/422/423/424/425/426/427/428/429/430/431/432/433/434/435/436/437/438/439/440/441/442/443/444/445/446/447/448/449/450/451/452/453/454/455/456/457/458/459/460/461/462/463/464/465/466/467/468/469/470/471/472/473/474/475/476/477/478/479/480/481/482/483/484/485/486/487/488/489/490/491/492/493/494/495/496/497/498/499/500/501/502/503/504/505/506/507/508/509/510/511/512/513/514/515/516/517/518/519/520/521/522/523/524/525/526/527/528/529/530/531/532/533/534/535/536/537/538/539/540/541/542/543/544/545/546/547/548/549/550/551/552/553/554/555/556/557/558/559/560/561/562/563/564/565/566/567/568/569/570/571/572/573/574/575/576/577/578/579/580/581/582/583/584/585/586/587/588/589/590/591/592/593/594/595/596/597/598/599/600/601/602/603/604/605/606/607/608/609/610/611/612/613/614/615/616/617/618/619/620/621/622/623/624/625/626/627/628/629/630/631/632/633/634/635/636/637/638/639/640/641/642/643/644/645/646/647/648/649/650/651/652/653/654/655/656/657/658/659/660/661/662/663/664/665/666/667/668/669/670/671/672/673/674/675/676/677/678/679/680/681/682/683/684/685/686/687/688/689/690/691/692/693/694/695/696/697/698/699/700/701/702/703/704/705/706/707/708/709/710/711/712/713/714/715/716/717/718/719/720/721/722/723/724/725/726/727/728/729/730/731/732/733/734/735/736/737/738/739/740/741/742/743/744/745/746/747/748/749/750/751/752/753/754/755/756/757/758/759/760/761/762/763/764/765/766/767/768/769/770/771/772/773/774/775/776/777/778/779/780/781/782/783/784/785/786/787/788/789/790/791/792/793/794/795/796/797/798/799/800/801/802/803/804/805/806/807/808/809/810/811/812/813/814/815/816/817/818/819/820/821/822/823/824/825/826/827/828/829/830/831/832/833/834/835/836/837/838/839/840/841/842/843/844/845/846/847/848/849/850/851/852/853/854/855/856/857/858/859/860/861/862/863/864/865/866/867/868/869/870/871/872/873/874/875/876/877/878/879/880/881/882/883/884/885/886/887/888/889/890/891/892/893/894/895/896/897/898/899/900/901/902/903/904/905/906/907/908/909/910/911/912/913/914/915/916/917/918/919/920/921/922/923/924/925/926/927/928/929/930/931/932/933/934/935/936/937/938/939/940/941/942/943/944/945/946/947/948/949/950/951/952/953/954/955/956/957/958/959/960/961/962/963/964/965/966/967/968/969/970/971/972/973/974/975/976/977/978/979/980/981/982/983/984/985/986/987/988/989/990/991/992/993/994/995/996/997/998/999/1000 |                     |               |             |

**Proposed Floor Plans**

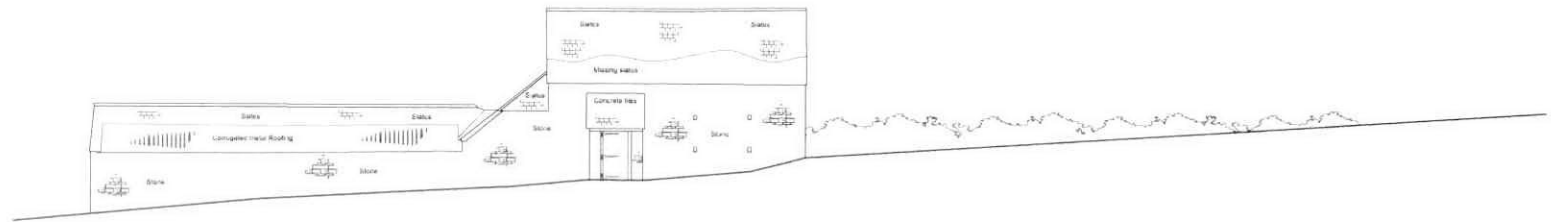
- General Notes:**
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  3. Dimensions are shown in millimetres unless otherwise stated.
  4. Discrepancies shall be resolved in favour of the architect.
  5. This drawing may be revised in future and may be a non-standard page size.



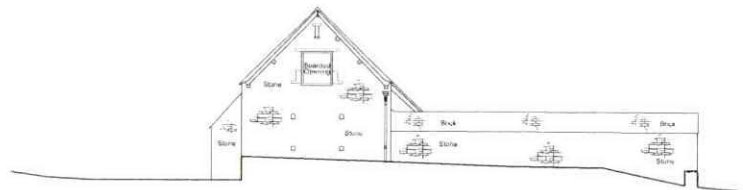
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SOUTH-WEST ELEVATION



NORTH-EAST ELEVATION



NORTH-WEST ELEVATION



SOUTH-EAST ELEVATION

Existing Elevations

33

|     |      |       |       |
|-----|------|-------|-------|
| Rev | Date | Drawn | Check |
| 1   |      |       |       |

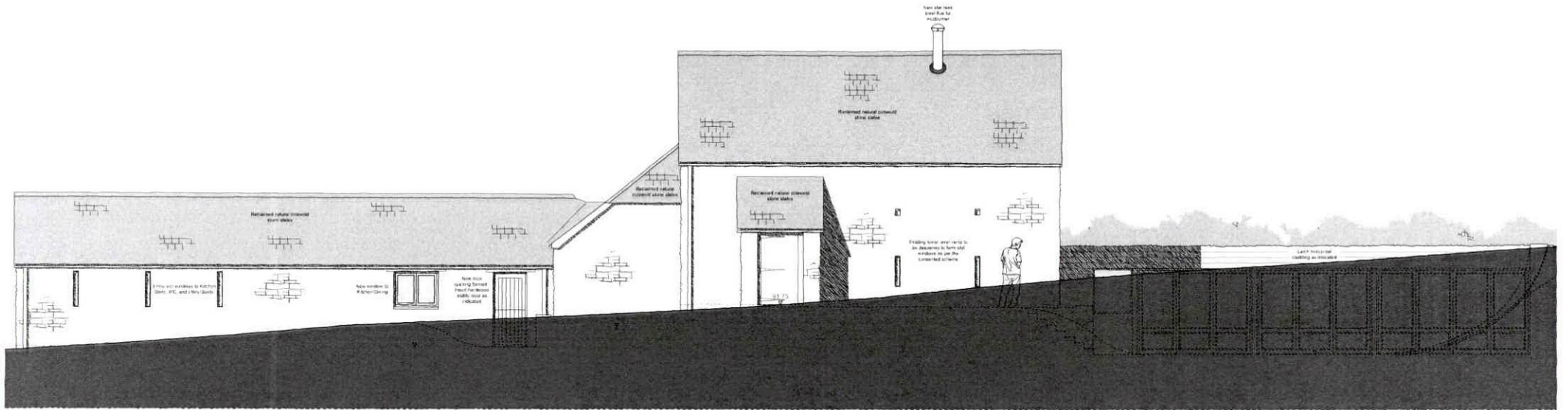
Scale 1:100 IS A1

GA Brand Name: [ ]

**YANGOU** 2014-2015

Shen Zhou, 3 Duan, 4 Street, Chongqing, Shaanxi, 610200, China  
 Tel: +86 23 8598 8888 Fax: +86 23 8598 8888  
 www.yangou.com

|                     |                                  |
|---------------------|----------------------------------|
| Client              | M & M's Paper                    |
| Project Address     | Bei Fuying Farm Building, GZ, YN |
| Project Description | Beer Conversion                  |
| Drawing Title       | Existing Elevations              |
| Drawing No.         | 2156-004                         |
| Rev.                | A                                |



NORTH-EAST ELEVATION



SOUTH-EAST ELEVATION

**General Notes:**

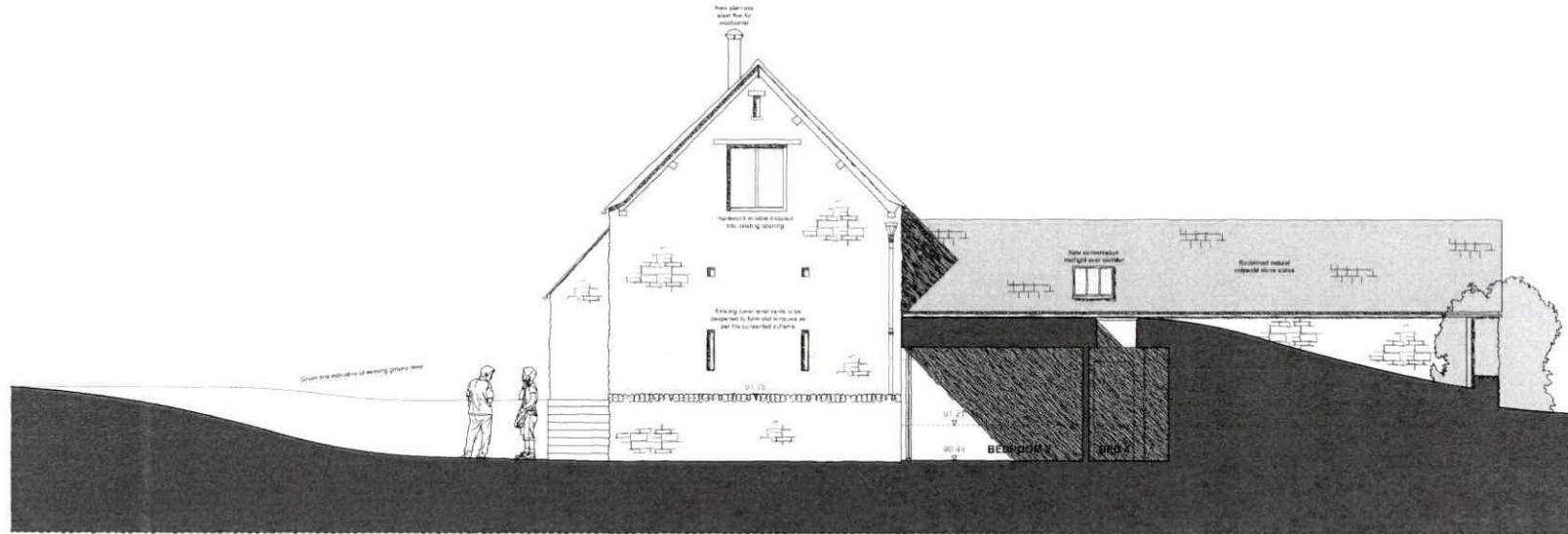
1. This drawing is to be read in conjunction with other consultants drawings
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*Proposed Sections and Elevation*

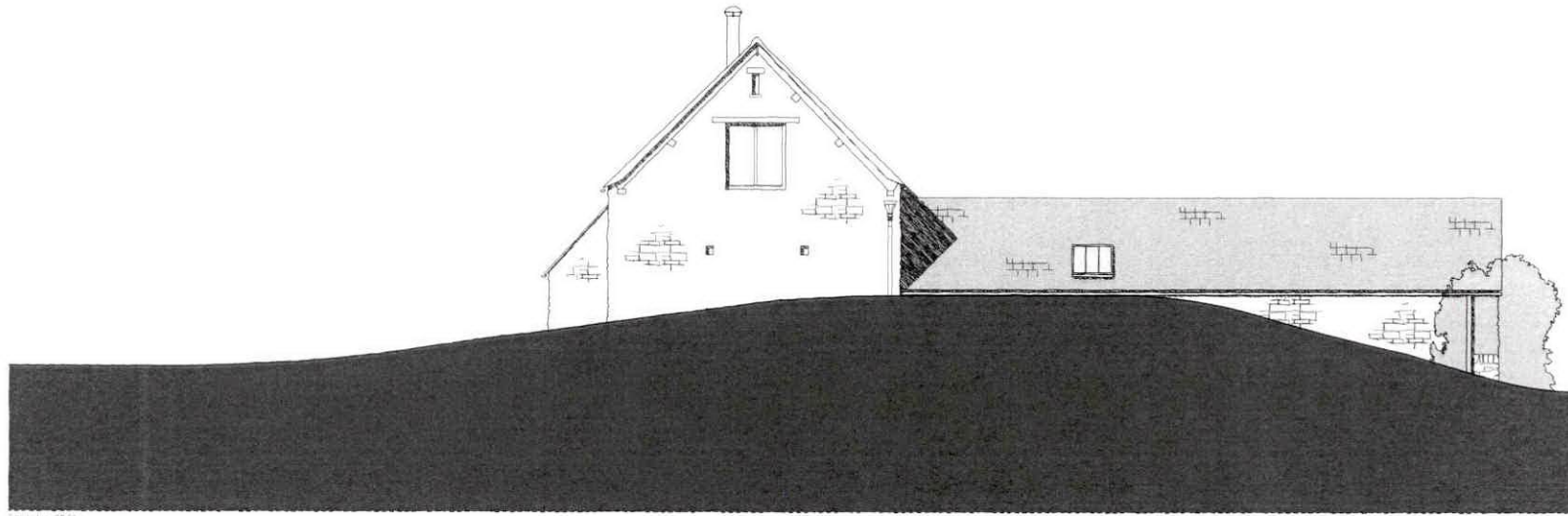
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|-----|----------|-----------------------------------|-------|-----------|
| A   | 20.08.17 | Planning Issue                    | JYS   | 1:50 @ A1 |
| B   | 24.08.17 | Revisions to North-East Elevation | JYS   |           |
| C   | 24.08.17 | Revisions to North-East Elevation | JYS   |           |
| D   | 28.08.17 | Final Revision with all changes   | JYS   |           |

|                     |   |
|---------------------|---|
| Client              | Mr & Mrs Rappin                                 |
| Project Address     | Sea Pointing Farm, Buntingford, Cambs, CB7 5PA  |
| Project Description | Open Conversion                                 |
| Drawing Title       | Proposed Sections and Elevations (Sheet 2 of 3) |
| Drawing No.         | 2156-105  |



SECTION A-A



NORTH-WEST ELEVATION

35

- General Notes:**
1. This drawing is to be read in conjunction with other consultative drawings.
  2. Check site conditions prior to commencement of work.
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*Proposed Sections and Elevations*

| Rev. | Date     | Notes                                 | Drawn | Scale     |
|------|----------|---------------------------------------|-------|-----------|
| A    | 22.08.17 | Planning Issue                        | PH    | 1:50 @ A1 |
| B    | 23.08.17 | Addition of Supplement to Section A-A | PH    |           |
| C    | 28.08.17 | Contractor's Note on structure        | PH    |           |

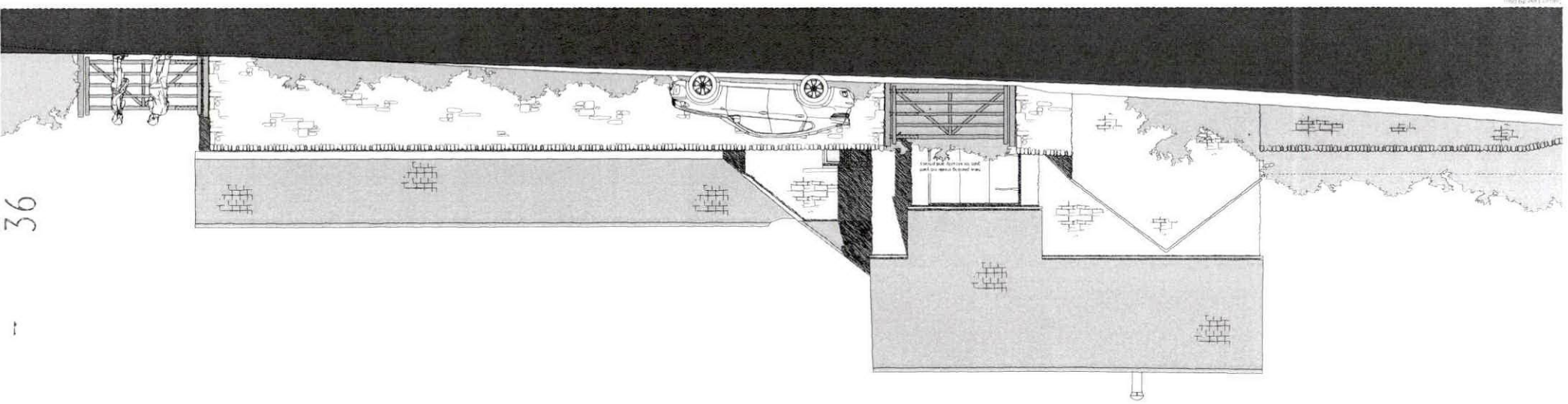
  

|  |   |       |   |
|--|---|-------|---|
| GA Serial Number   |   | 12121 |   |
|  |   |       |   |
| <b>YIANGOU</b><br>YIANGOU ARCHITECTS   |   |       |   |
| 12th Floor, 8 East Street<br>Singapore, 048503 S.S. 2 per<br>(Singapore) Tel: +65 6339 8888<br>www.yiangou.com |   |       |   |
| Client   | M & Mrs Zhou                                    |       |   |
| Project Address  | See Funding Form, Southview, K&T DPV            |       |   |
| Project Description  | Barr Conversion                                 |       |   |
| Drawing Title  | Proposed Sections and Elevations (Sheet 1 of 2) |       |   |
| Drawing No.  | 2156-104  | Rev.  | C |

- General Notes:**
1. This drawing is to be read in conjunction with other consultants drawings.
  2. Check site conditions prior to commencement of work.
  3. Dimensions must be reported in Imperial units only.
  4. The scale of drawing uses figured dimensions only.
  5. This drawing may be issued in colour and may be a non-standards paper size.

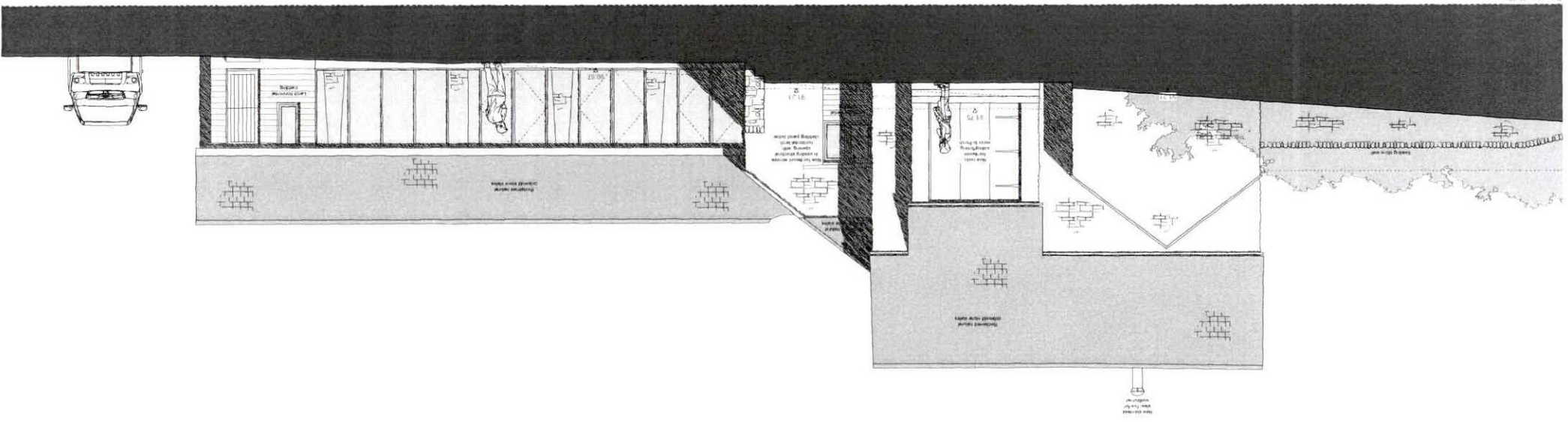
# Proposed Sections and Streetscapes.

|                     |   |
|---------------------|---|
| Drawing No.         | 2156-106  |
| Client              | 15 & 16th Street                                |
| Project Address     | 15 & 16th Street, San Francisco, CA 94103       |
| Project Description | Remodeling and Construction                     |
| Drawing Title       | Proposed Sections and Streetscapes Sheet 2 of 2 |
| Scale               | 1:50 @ A1                                       |
| Sheet               | 36  |



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STREET SCENE



SOUTH-WEST ELEVATION